



No. Sheet Name

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- A3 Roof Plan
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- A6 Building Sections
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- A0 Foundation Plan
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Lofty Plans

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FOUNDATION NOTES:

The design as shown and the following notes are typical for the Memphis, Tennessee region and may not be acceptable for other regions.

The builder shall consult structural engineer of foundation plan as shown and for option or alternate plan before starting construction. All notes applicable unless otherwise noted on plan.

The builder shall provide all other material and labor as required for the completion of slab foundations and footings as required to insure structural integrity.

- 1) The builder shall review M.P.E. schematics and provide for and coordinate all mechanical, plumbing and electrical requirements in foundation wall, slabs and underground.
- 2) The builder shall verify all dimensions and coordinate foundation plan dimensions with floor plan dimensions before starting construction of foundation.
- 3) The builder shall also review all drawings as indexed before starting foundation.
- 4) The foundation has been designed based on the assumed minimum soil bearing value of 3000 psf. All excavations for footings should be inspected by the builder's consulting engineer prior to pouring concrete and if found to be questionable, should be over excavated and filled with concrete.
- 5) Where concrete block walls exceed 32' height above grade, reinforce with #4 rebars @ 16" o.c. vertical and fill cores solid with grout. Verify w/ engineer.
- 6) All reinforcing shall be as per structural engineer.
- 7) All sole plates at exterior and interior load bearing walls shall be anchored with 1/2" dia x 10" long anchor bolts embedded into conc. 7" and spaced 6'-0" o.c. and 12" from corners, or shot with ramset anchor and washer @ 48" o.c. at load bearing and interior walls throughout. Shoot at each side of all openings.

FOUNDATION WALLS:

8" x 16" x 8" concrete block, or as noted on plan, with non-corrosive corner reinforcing horizontally and @ 16" o.c. vertically. See note below and Note No. 5 on this drawing for vertical reinforcing.

CONCRETE SLAB:

3000psi concrete, 4" thick minimum, reinforcing W/ 6x6 10/10 wire mesh over 6 mil polyethylene moisture barrier. Slab shall be constructed on firm, layer, compacted fill dirt or sand top w/ 6" thick gravel fill. All shall be treated for the prevention of termites. Certification of termite treatment required.

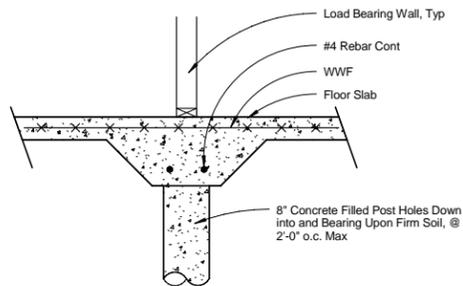
FOOTING:

3000psi concrete reinforcing with (3) #4 rebars continuous and shall bear on firm, undisturbed soil well below frost line. All footings have been designed based on an assumed minimum soil bearing value of 3000 p.s.f.

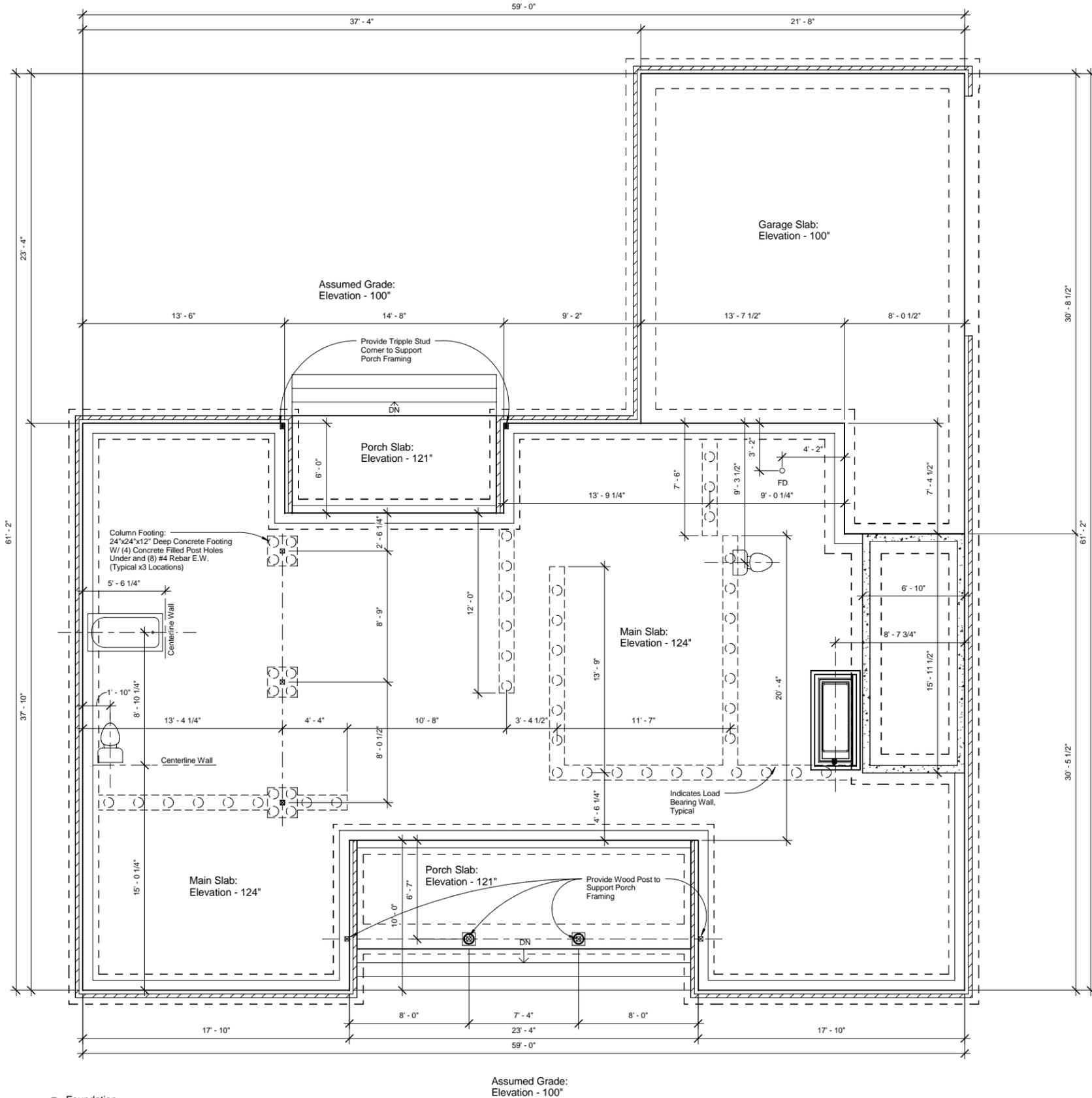
Footing dimensions by structural engineer.

Concrete piers (post holes): minimum 8" diameter space as shown 3000 psi concrete down into and bearing on firm, undisturbed earth, spacing shall not exceed 48" o.c. at any part of structure.

Where a spread (rectangular or square) footing is combined with a continuous footing, the continuous footing reinforcing shall pass through the spread footing and be in addition to the reinforcing noted above. Bottom of footing reinforcing shall be a minimum of 3" clear of soil at locations of built-up wood or steel columns, provide (4) #5 vertical from footing into concrete block foundation wall (full height of wall) where laps are required, provide 18" minimum lap.



② Typical Interior Load Bearing
3/4" = 1'-0"



① Foundation
1/4" = 1'-0"

NOT FOR CONSTRUCTION

JOB NAME AND ADDRESS:

Private Residence

REVISIONS:		DATE
NO	DESCRIPTION	

SHEET TITLE:	Foundation Plan
DATE:	5/10/2011

SHEET NO:	A0
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Model energy code note:

It is the contractor's responsibility to insure that all work and construction meets or exceeds all applicable codes required of the 1992 model energy code as adopted by the office of code enforcement on July 1, 1994

Seismic note:

It is the contractor's responsibility to ensure that all work and construction meets or exceeds all applicable codes as adopted by the office of code enforcement on January 1, 1996. Documents and detailed drawings will be furnished by the local code enforcement office at time of permit issue.

Framing notes:

- 1) All dimensions are from face of gypsum board to face of gypsum board. Walls not dimensioned are typically 4 1/2" deep (2x4 w/ one layer 1/2" gypsum board each side) unless noted otherwise
- 2) All wood framing shall be No. 2 spruce, southern pine or fir (unless noted otherwise on drawings)
- 3) All wood framing in contact with concrete shall be pressure treated.
- 4) Wood window header height noted on elevation unless limited by special conditions. Review all elevations for transoms and special conditions, consult door and window supplier for all framing of all rough openings.
- 5) All studs, rafters and joists to be at 16" o.c. unless noted otherwise.
- 6) Use treated lumber where required by code and good construction practices.
- 7) Provide solid bridging on all floor joist spans over 10'-0" and at intervals not to exceed 8'-0".
- 8) Provide double floor joists under all walls which run parallel to floor joists.
- 9) Provide solid bearing under all headers.
- 10) Provide full solid stud bearing (built-up post) under all beam bearing points to solid foundation condition below.
- 11) All angled walls are 45 degrees unless noted otherwise.
- 12) Provide 1/2" plywood (glued & nailed) over 1x4 let-in bracing at all wall corners installed as per code.
- 13) Typical exterior 2x6 stud walls shall be sheathed with 1/2" exterior grade plywood. Plywood shall span over all plates and headers and be adequately nailed to create a "diaphragm" wall.
- 14) Exterior wall sheathing shall be wrapped in "tyvek" house wrap or equal. Install as per manufacturer's specifications.
- 15) All beam specifications, materials and sizes shall be as per builder's structural engineer.
- 16) All sole plates at exterior walls and interior load bearing walls shall be anchored with 1/2" dia x 10" long anchor bolts embedded into concrete 7" and shall be spaced 6'-0" o.c. and 12" from corners or shot with ramset anchor and washer @ 48" o.c. at load bearing and interior walls throughout. Shoot at each side of openings thru-out. All shall be seismic braced.
- 17) Brace all hip and valley rafters with vertical built-up posts not to exceed 6'-0" and bearing on double joint below. All as required by code or special conditions and builder's structural engineer.
- 18) Provide 2x4 knee bracing at 32" o.c. where required by code or design drawings.
- 19) Batt insulate all exterior walls to minimum R-19. Batt insulate (or blow-in insulation) ceilings over conditioned space to R-30.
- 20) All framing, nailing and anchoring shall be as per applicable code
- 21) All efforts shall be taken to assure a "quiet" floor system (glue and screw plywood decking to joists).
- 22) The builder shall accept all responsibility and liability of construction methods. Materials, structural integrity and proper operation of all mechanical, plumbing and electrical systems.
- 23) The builder and builder's subs shall provide and install all saddles, flashing, caulking and other as required to insure a watertight, leakproof structure.
- 24) All framing, beams, structural connectors and special conditions shall be reviewed and/or engineered by the builder's structural engineer before construction.
- 25) All brick veneer shall be anchored to studs @ 16" o.c. horizontally and 24" (max) vertical centers with non-corrosive metal ties: 1 tie for every 2 s.f. ties not to exceed 6 courses vertically
- 26) Provide weep holes @ 24" o.c. horizontally around entire perimeter of building.

Window and door notes:

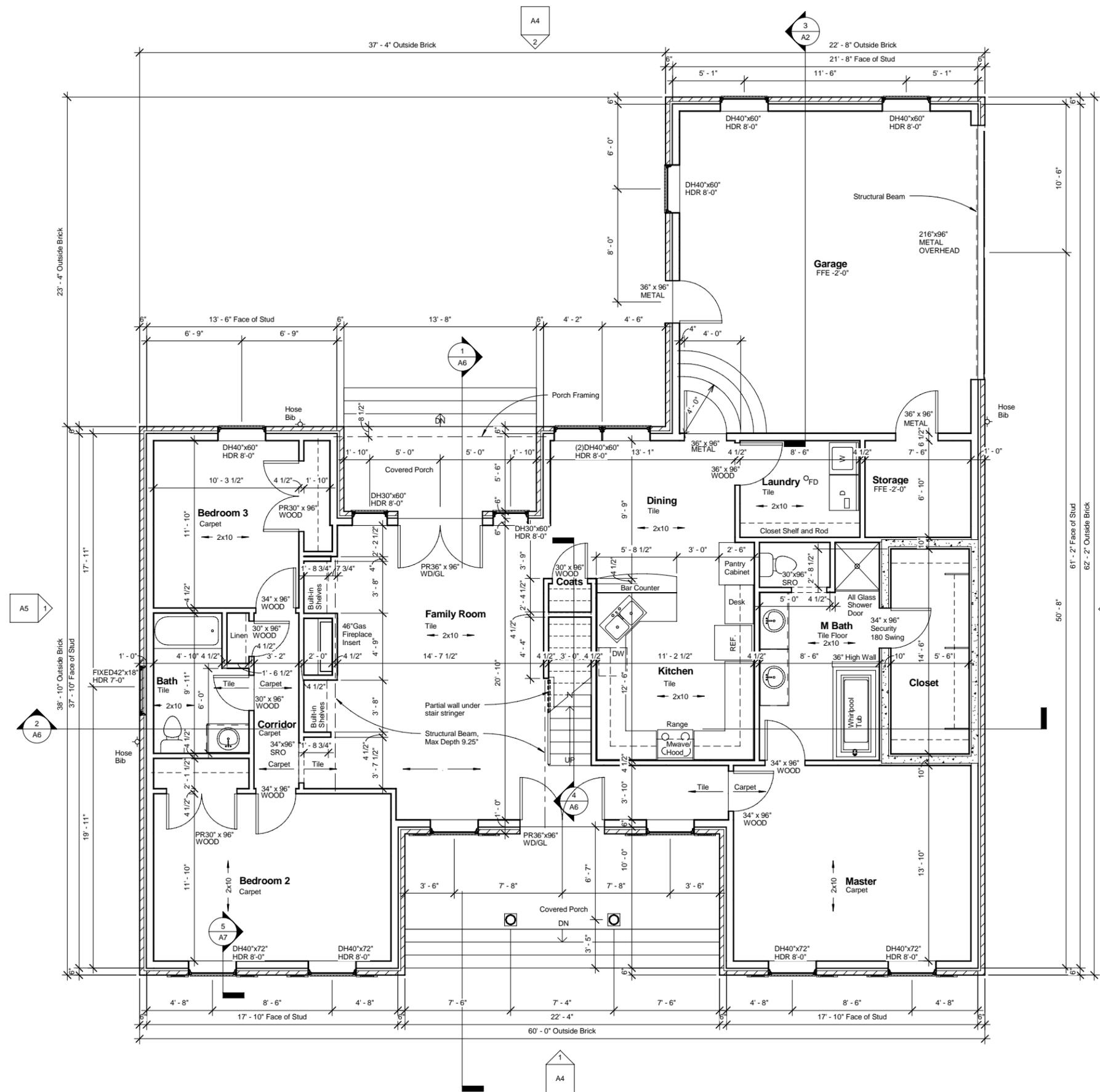
- 1) All windows to be wood with 1/2" insulated glass (tempered) double-hung, casement, and fixed as shown. Refer to elevations and floor plans. To be selected by the owner/builder.
- 2) Consult door and window supplier for all framing of all rough openings
- 3) Window sizes indicated on plans are noted by generic sash sizes. Notify designer if specified size is not available.
- 4) Refer to plans and exterior elevations for window types. Coordinate with owner for operable windows, swing direction of casements, etc. All egress windows shall comply with all applicable codes.
- 5) Provide jamb and sill extensions where required.
- 6) All interior doors to be 6-panel paint grade unless noted otherwise or owner/builder's request.

Finish Notes:

- 1) Kitchen shall have tile floor and tile wainscot up to 4'-0" AFF and a full tile backsplash.
- 2) Master Bath shall have tile floor and full height tile in the shower and entire tub deck and full height tub surround.
- 3) Guest Bath shall have tile floor and full height tile tub surround to the ceiling.
- 4) All tile installations shall have "Dura-Rock" sheathing substrate.

Area Schedule	
Name	Area
First Floor Heated	
Main Living	1843 SF
First Floor Unheated	
Back Porch	92 SF
Front Porch	240 SF
Garage	490 SF
Second Floor Unfinished	
Future	661 SF
Grand total	3326 SF

1 First Floor
1/4" = 1'-0"



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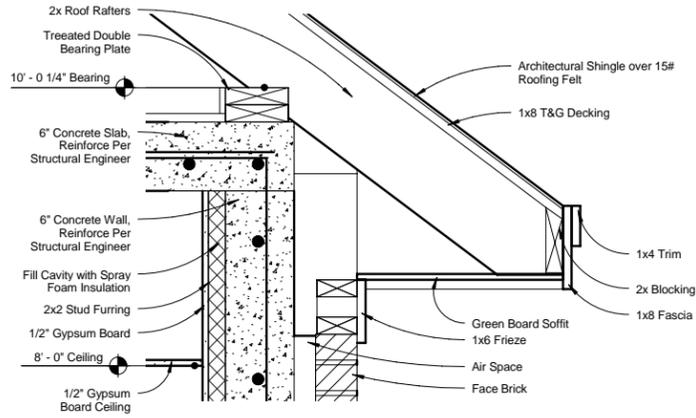
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REVISIONS:	NO	DESCRIPTION	DATE

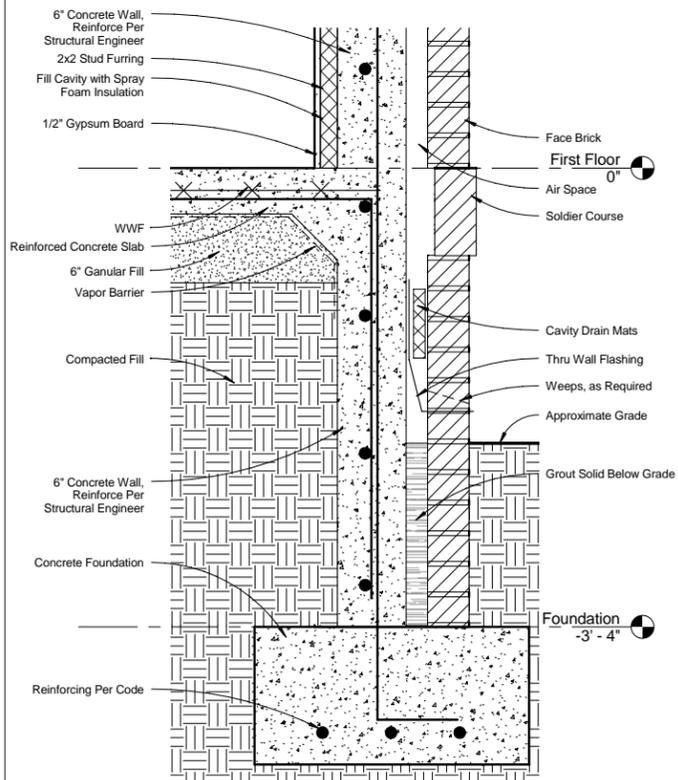
SHEET TITLE: First Floor Plan

SHEET NO: A1

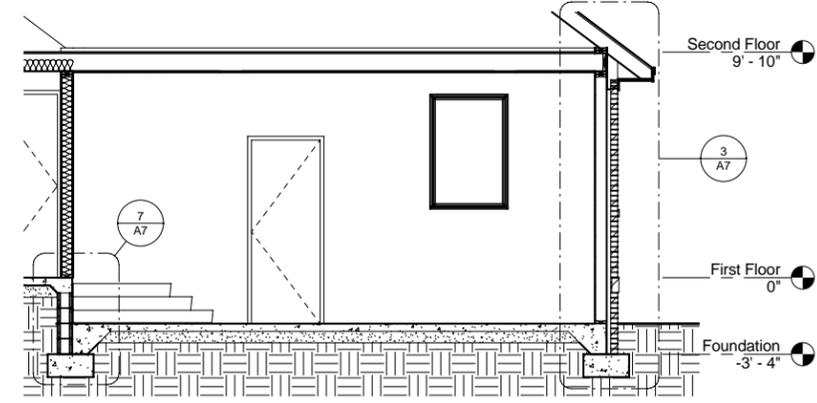
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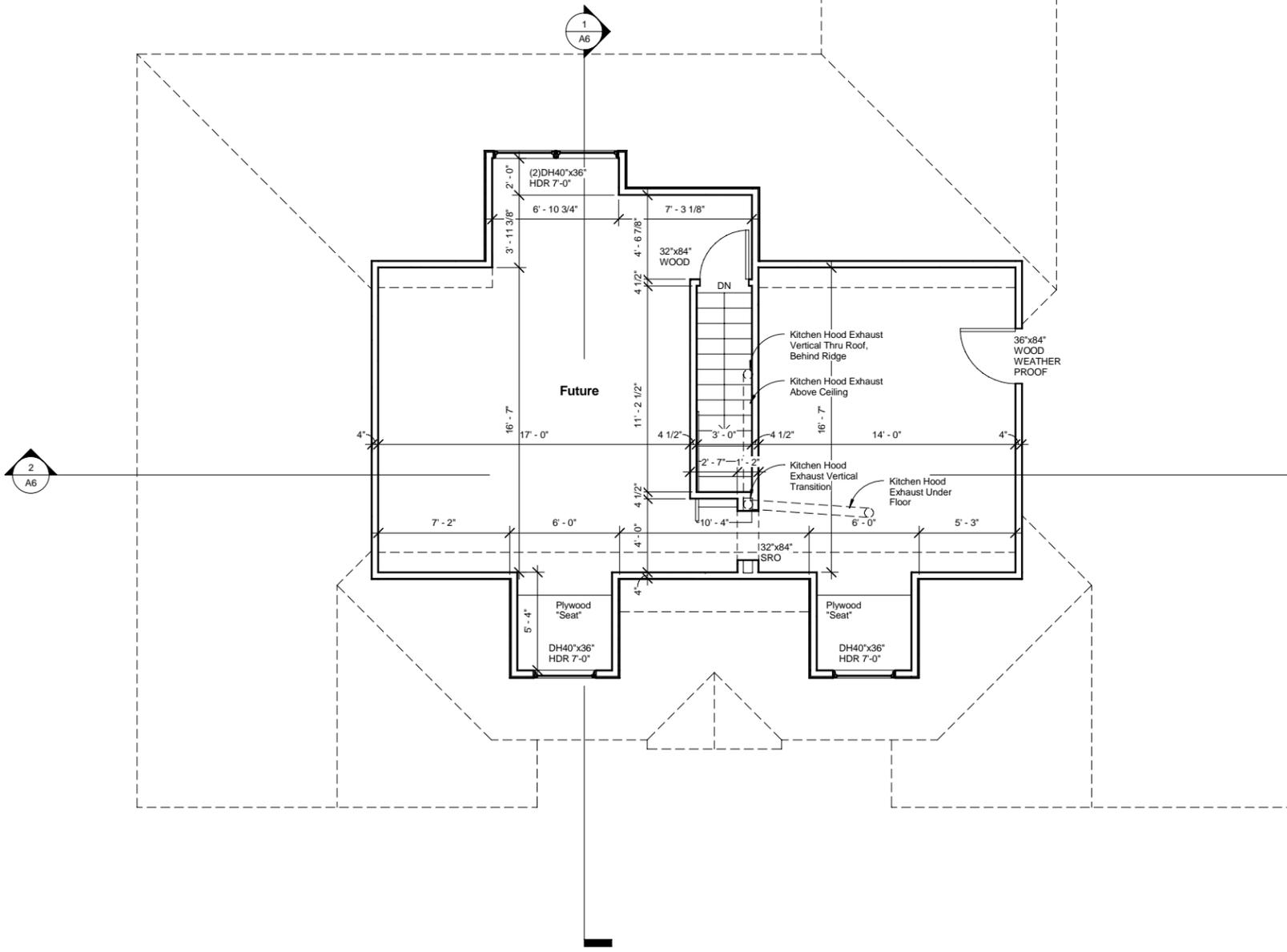
② Safe Room Section
1 1/2" = 1'-0"



④ Safe Room Foundation
1 1/2" = 1'-0"



③ Garage Section
1/4" = 1'-0"



① Second Floor
1/4" = 1'-0"

NOT FOR CONSTRUCTION

JOB NAME AND ADDRESS:
Private Residence

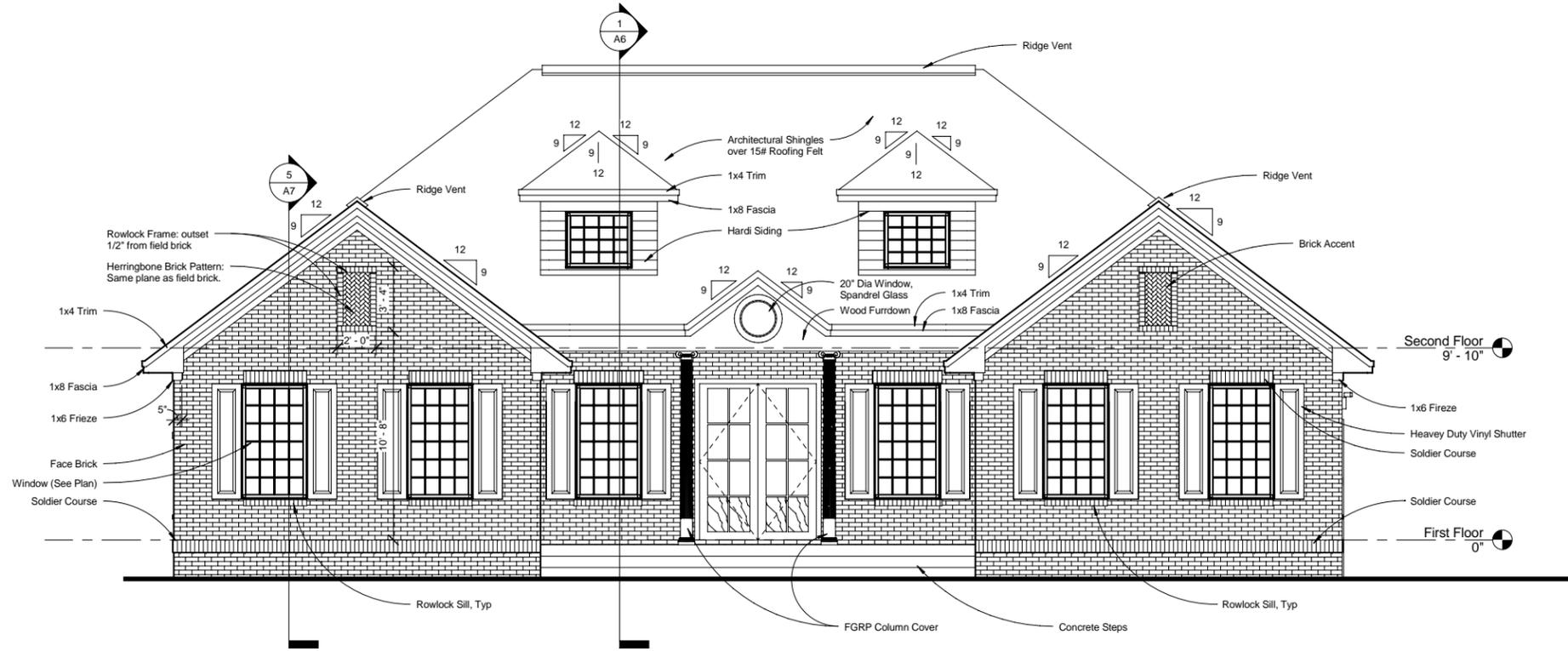
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SHEET TITLE:
Second Floor Plan

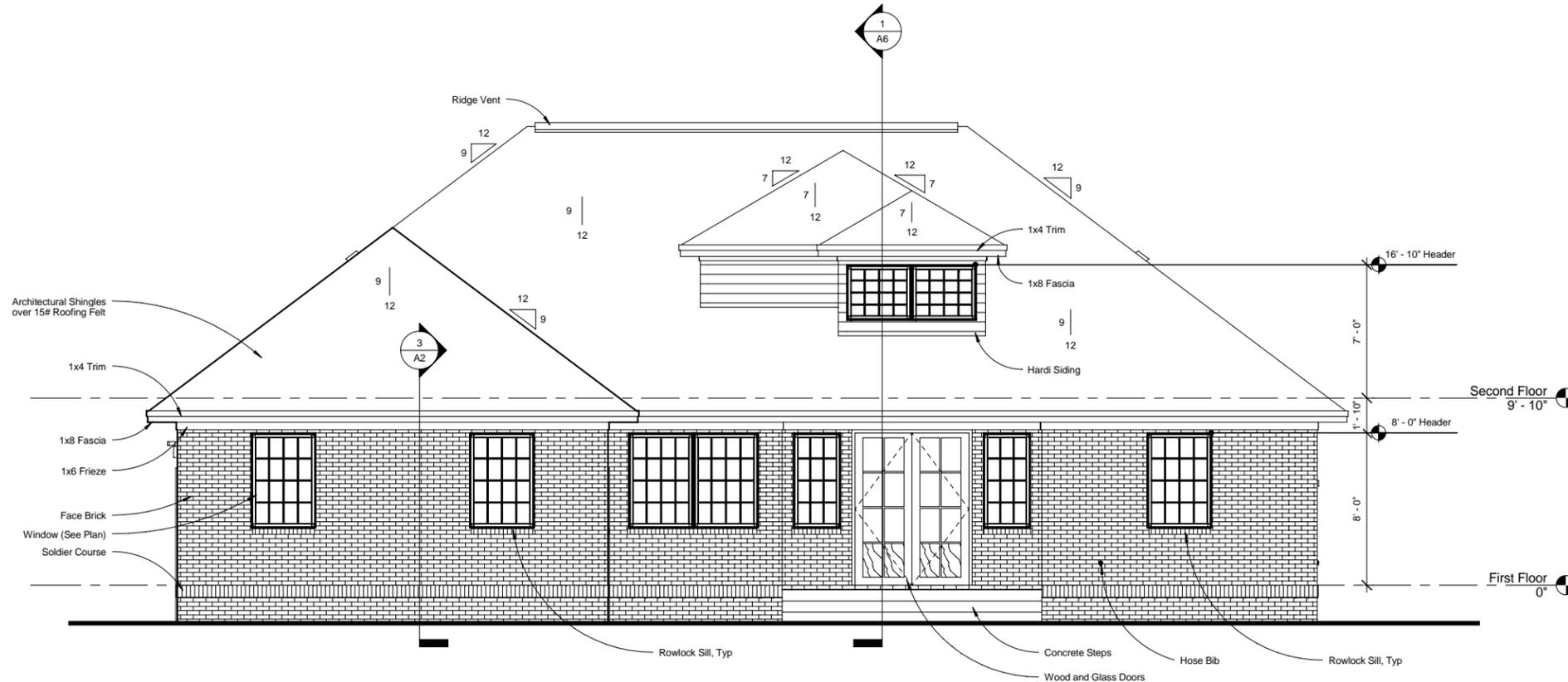
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5/10/2011

SHEET NO:
A2

NOT FOR CONSTRUCTION



1 Front Elevation
1/4" = 1'-0"



2 Rear Elevation
1/4" = 1'-0"

JOB NAME AND ADDRESS:

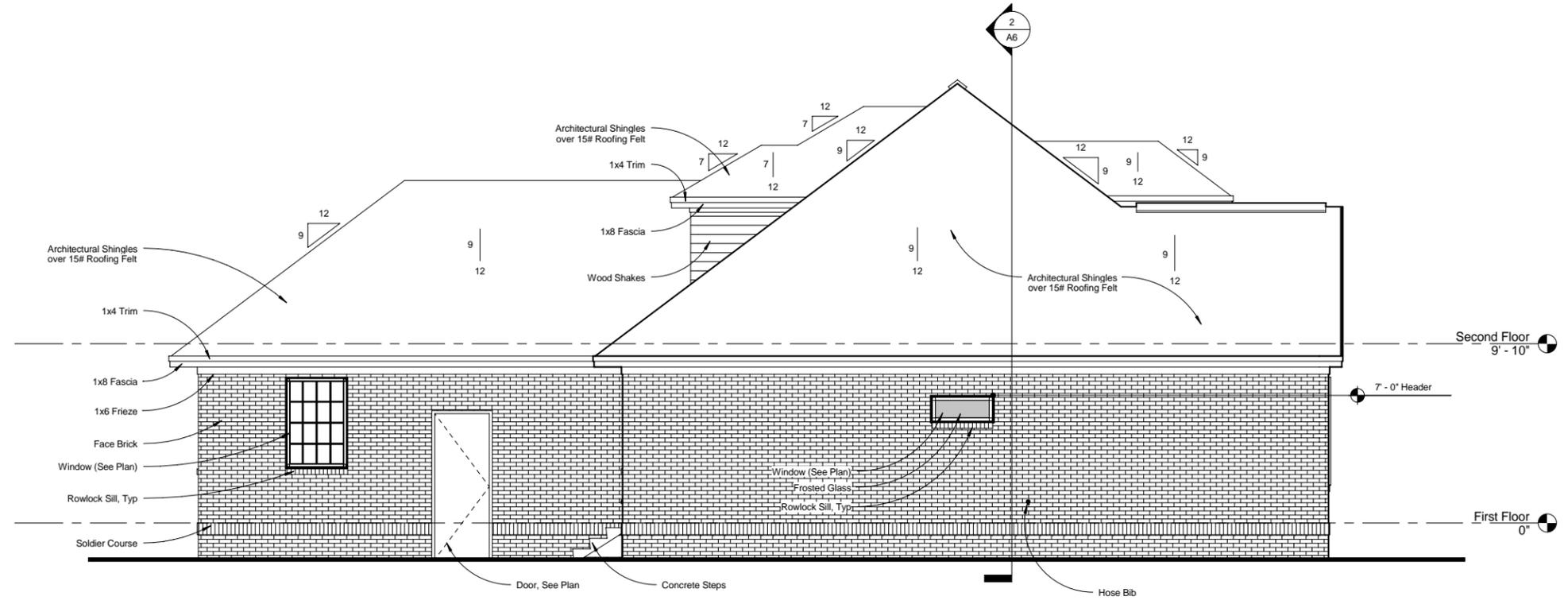
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REVISIONS:		DATE
NO	DESCRIPTION	

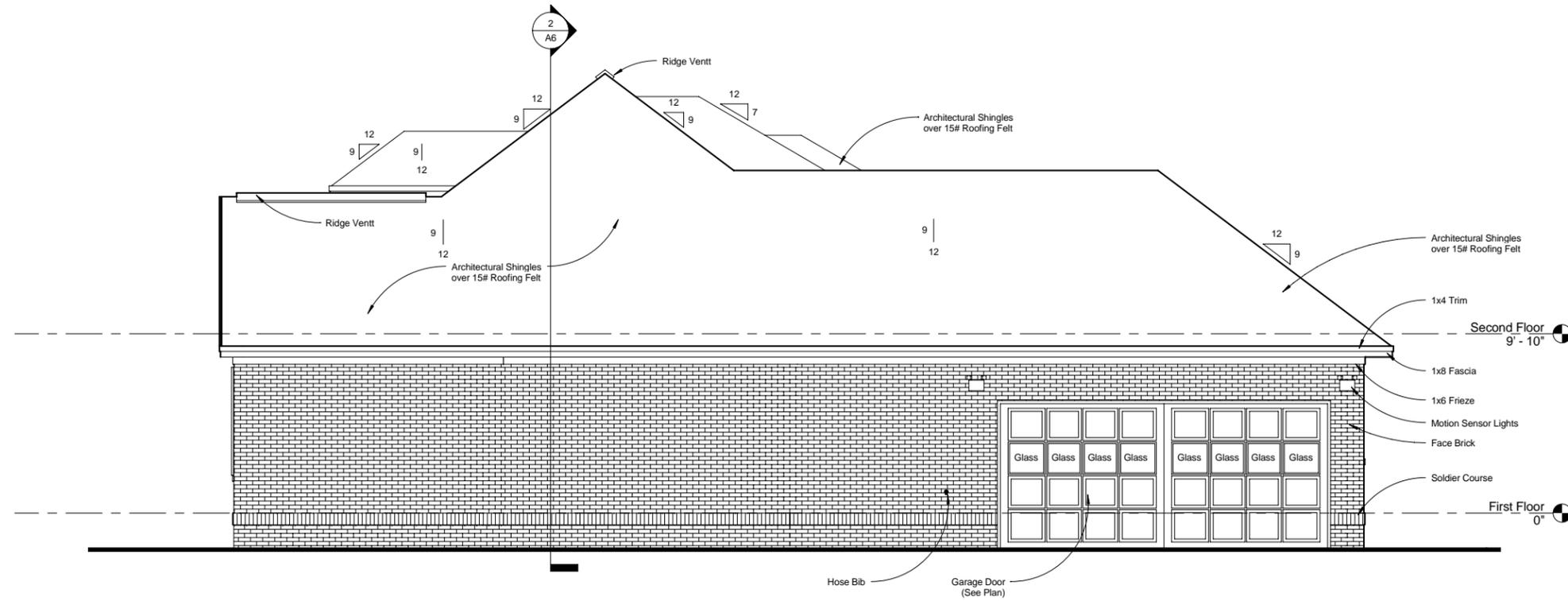
SHEET TITLE:
Elevations

DATE:
5/10/2011

SHEET NO:
A4



① Left Elevation
1/4" = 1'-0"



② Right Elevation
1/4" = 1'-0"

NOT FOR CONSTRUCTION

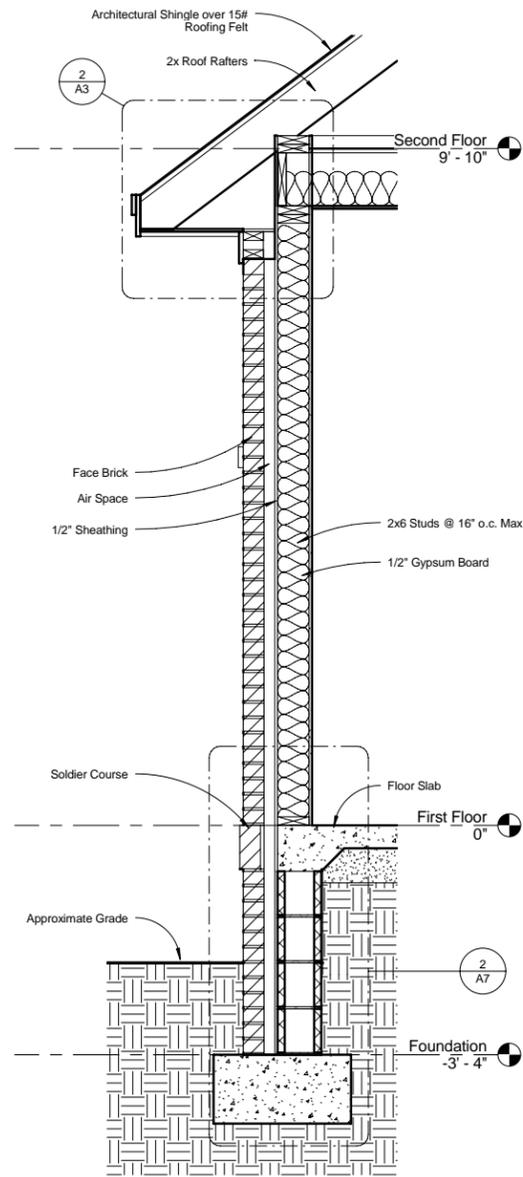
JOB NAME AND ADDRESS:
Private Residence

REVISIONS:	NO	DESCRIPTION	DATE

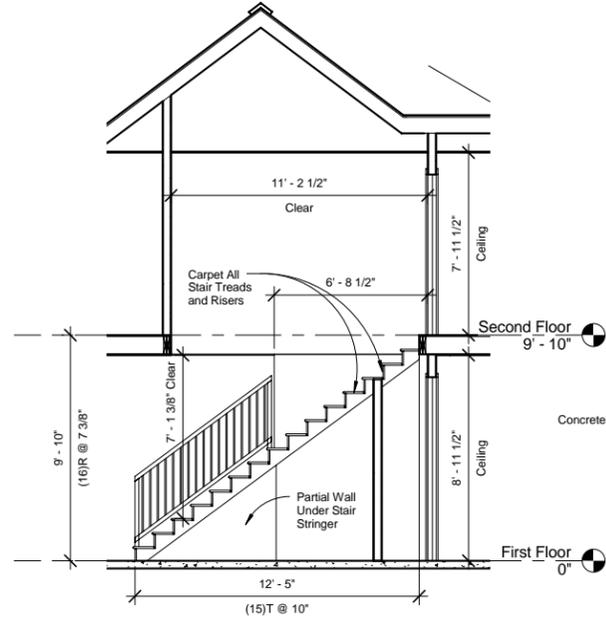
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Elevations

DATE:
5/10/2011

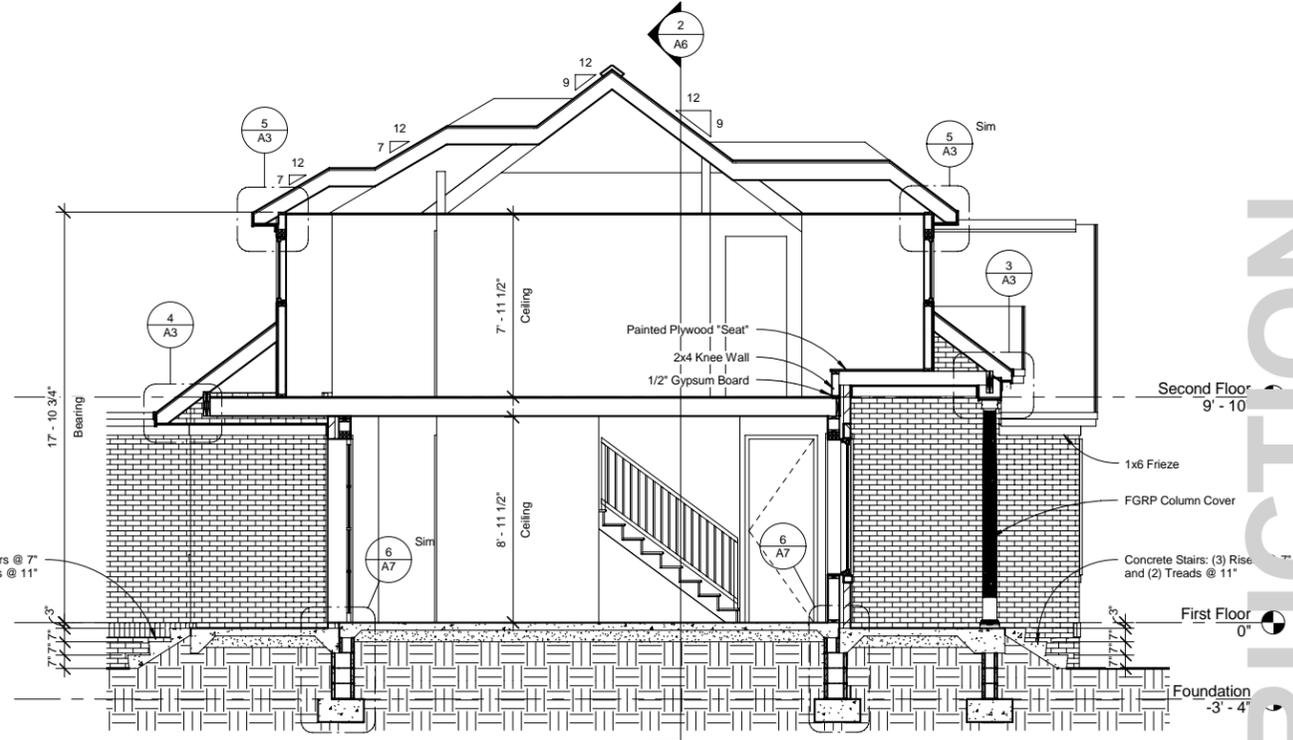
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A5



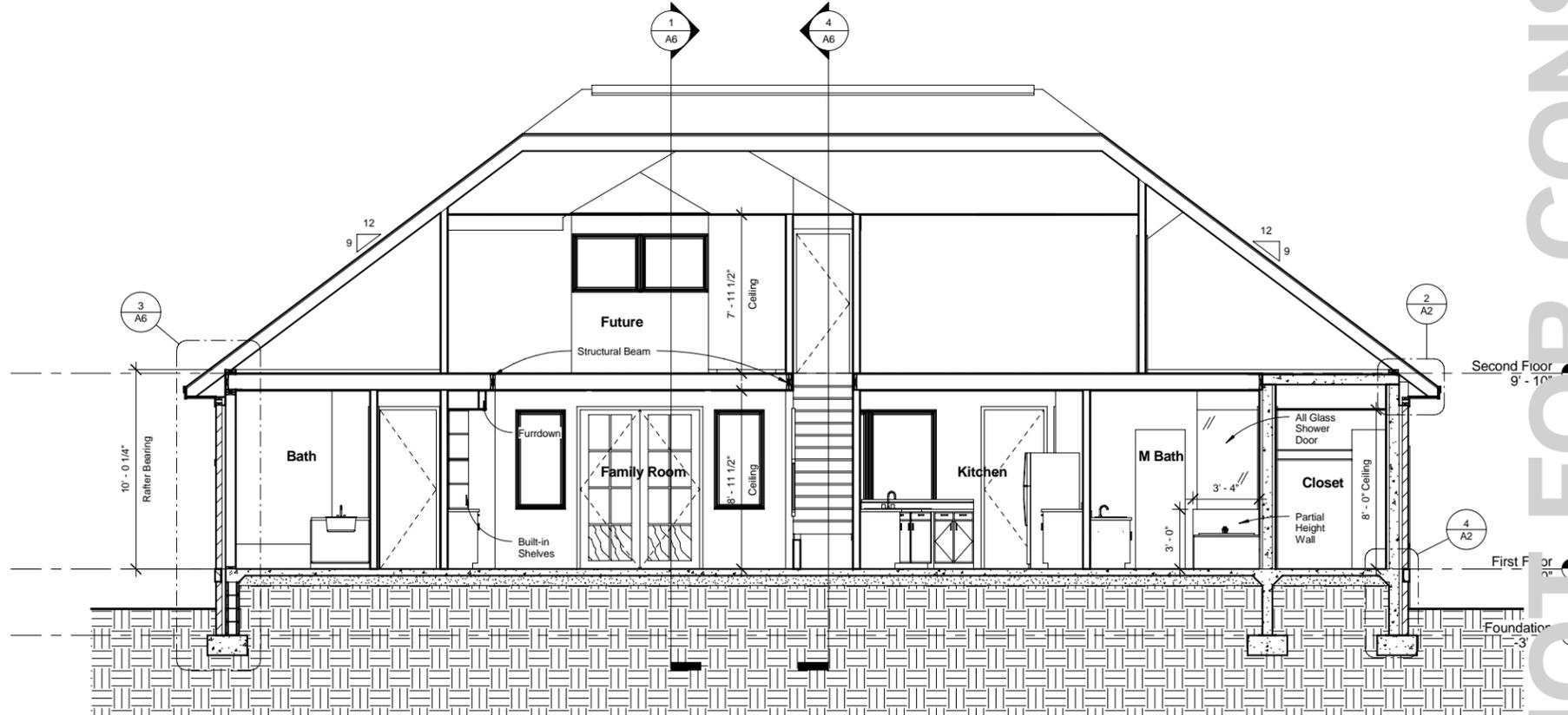
3 Typical Wall Section
3/4" = 1'-0"



4 Stair Section
1/4" = 1'-0"



1 Building Section
1/4" = 1'-0"



2 Cross Section
1/4" = 1'-0"

NOT FOR CONSTRUCTION

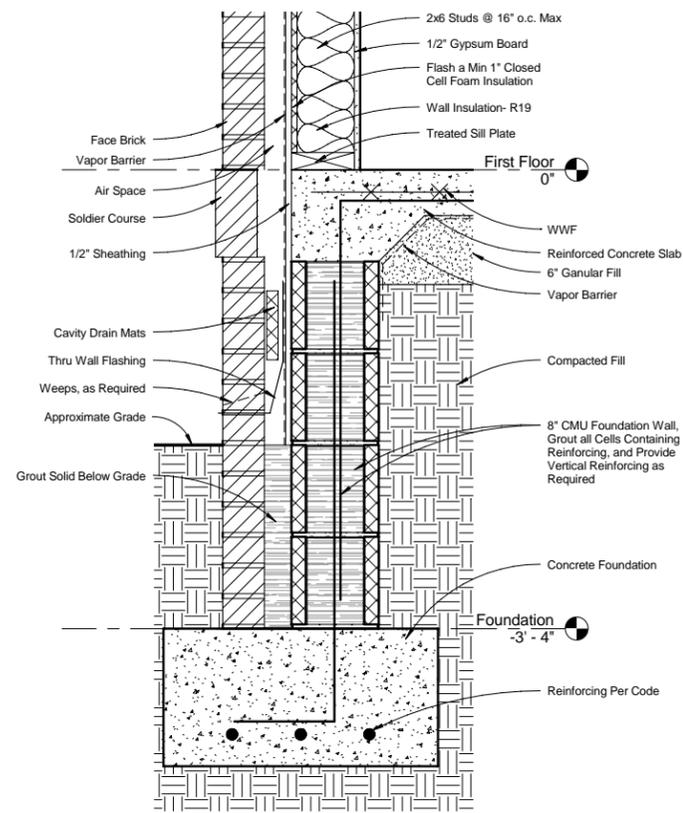
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Private Residence

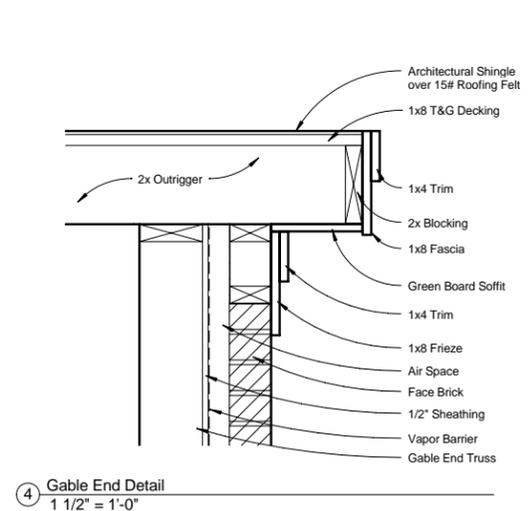
REVISIONS:	NO	DESCRIPTION	DATE

SHEET TITLE:	Building Sections
DATE:	5/10/2011

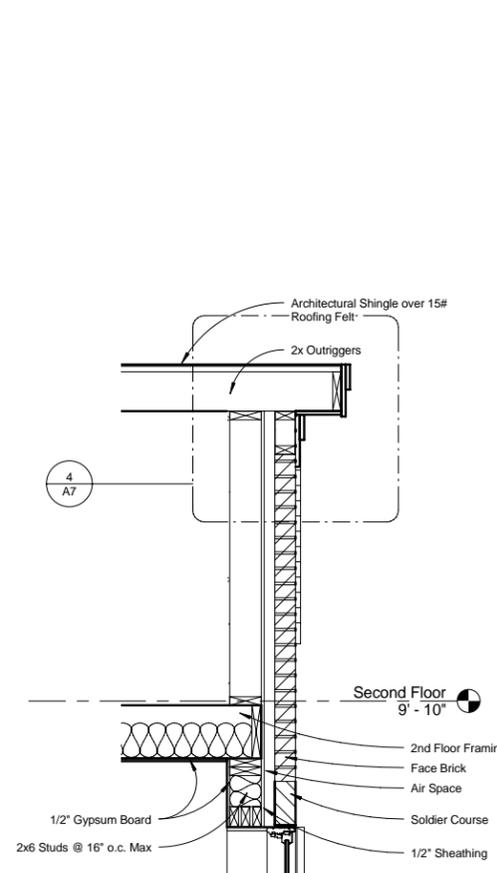
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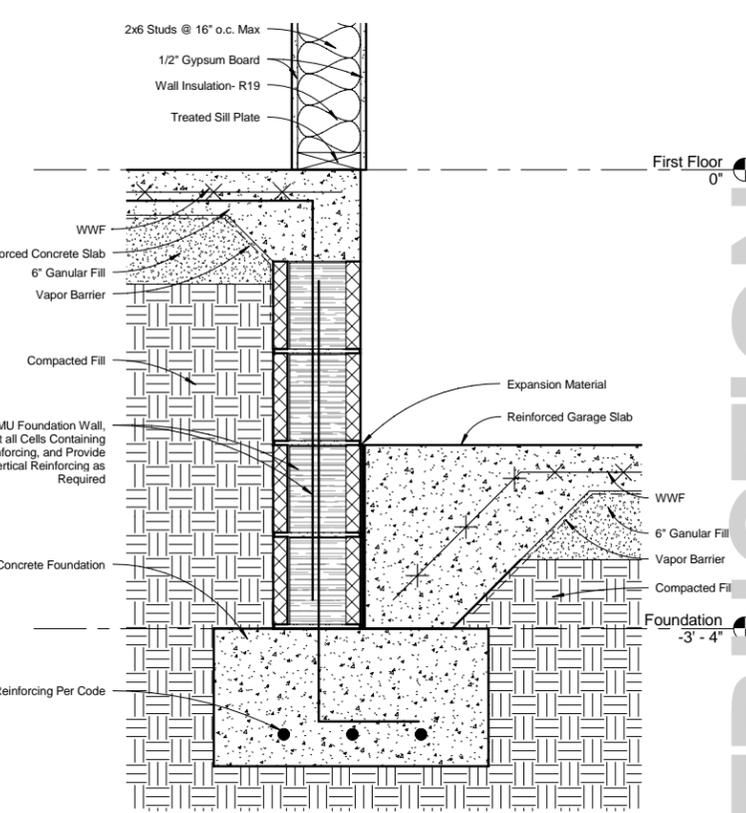
2 Typical Foundation
1 1/2" = 1'-0"



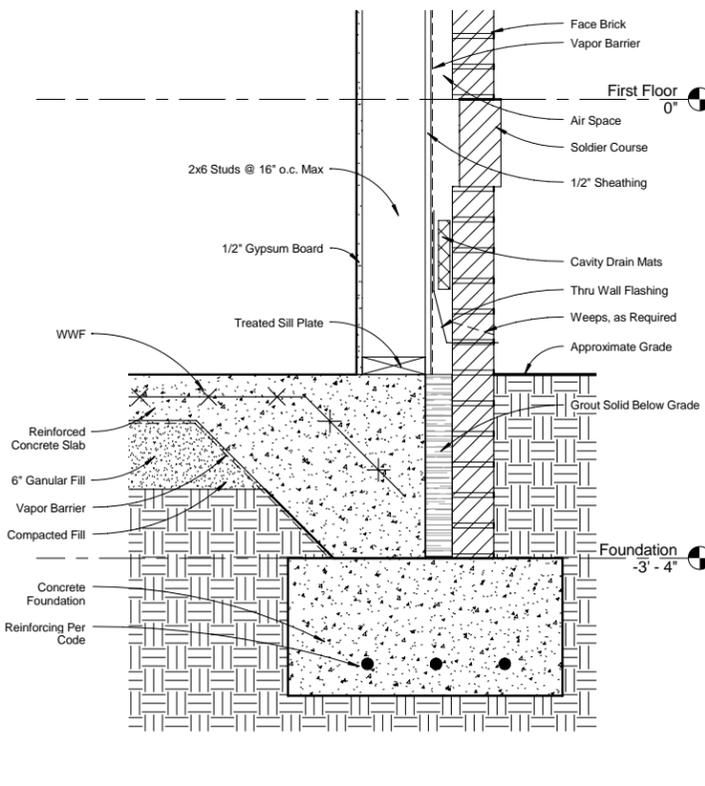
4 Gable End Detail
1 1/2" = 1'-0"



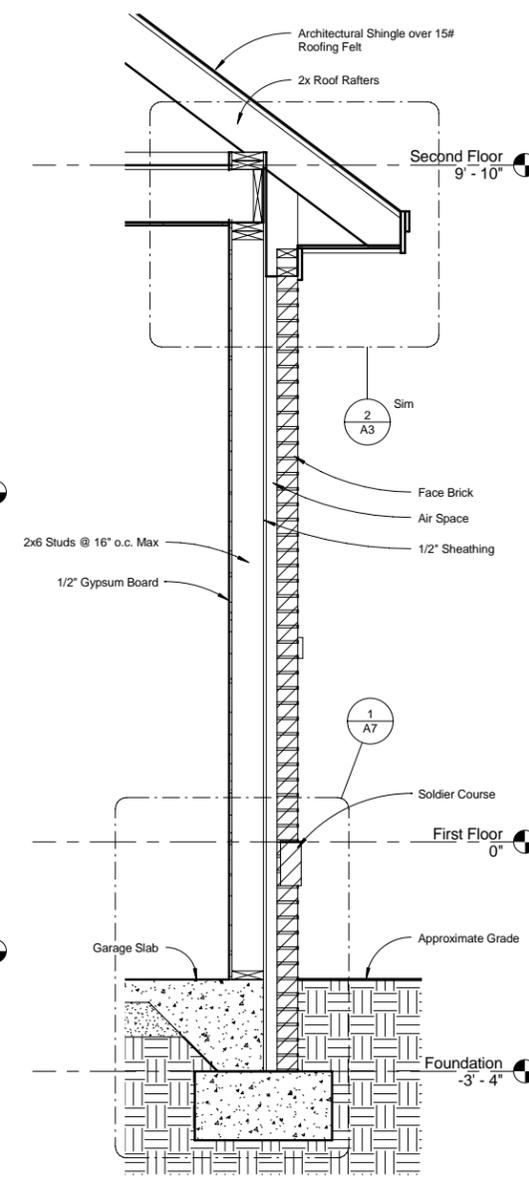
5 Slab Transition
1 1/2" = 1'-0"



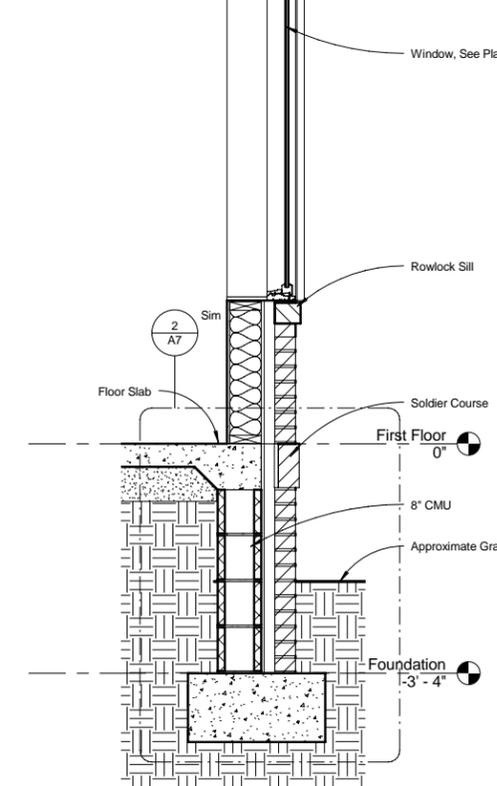
7 Porch Foundation
1 1/2" = 1'-0"



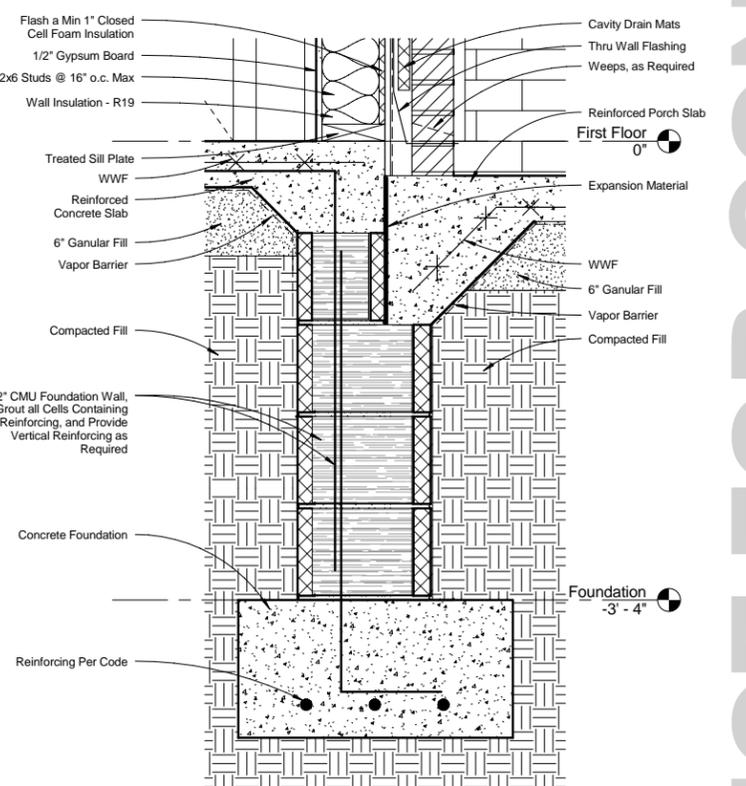
1 Garage Foundation
1 1/2" = 1'-0"



3 Garage Wall Section
3/4" = 1'-0"



5 Gable End Section
3/4" = 1'-0"



6 Porch Foundation
1 1/2" = 1'-0"

NOT FOR CONSTRUCTION

JOB NAME AND ADDRESS:
Private Residence

REVISIONS:	NO	DESCRIPTION	DATE

SHEET TITLE:
Building Sections

DATE:
5/10/2011

SHEET NO:
A7

Notes to MPE subs:

- 1) Coordinate all work as required, i.e. Cutting, patching, blocking, and other as required with the owner/builder, concrete subs, framers, finishers and all other trades on the project.
- 2) Coordinate and submit to the owners/builder allowances for systems and fixtures to be selected by the owner/builder.

Mechanical:

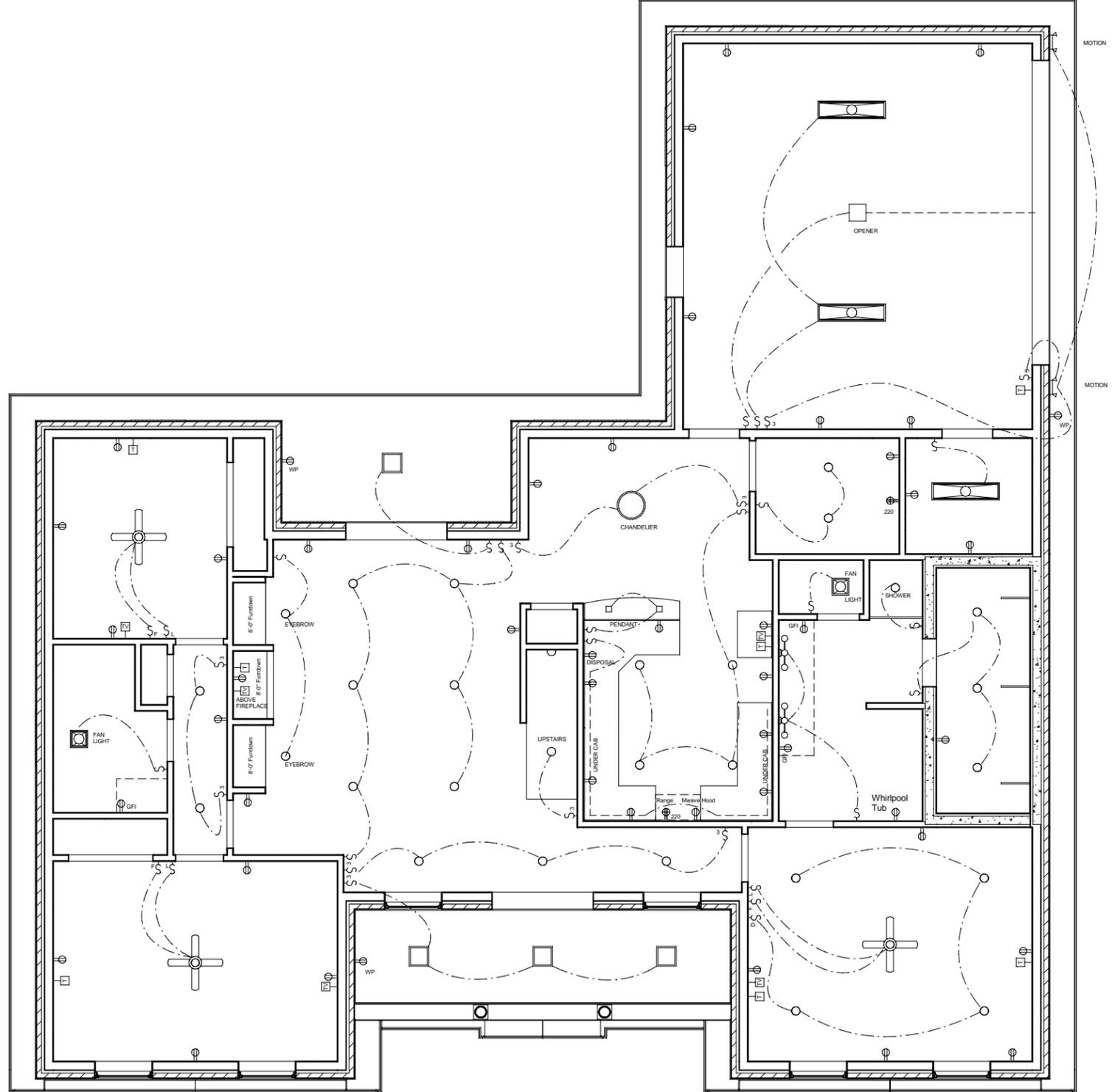
- 1) It shall be the responsibility of the mechanical contractor to design and engineer the HVAC system to insure a comfort zone of 72 degrees heating and cooling.
- 2) It shall be the sole responsibility of the mechanical contractor to provide and submit engineered plans and specifications to the owner/builder and the building department for approval.
- 3) Provide and install all equipment and HVAC systems in strict compliance with all codes, ordinances, and governing bodies.
- 4) Coordinate location of utility meters with site plan and locate away from public view. Visual impact of utility meters shall be minimized, i.e. Held as low as possible.
- 5) All plumbing and mechanical vents shall be grouped within the house structure or attic space when possible to minimize roof penetrations. All plumbing and mechanical vents which extend above the roof shall be located away from public view, i.e. No vents allowed on front roof area or visible from corner streets or outdoor living areas. All metal and PVC vents and penetrations shall be properly flashed, primed and painted to blend into the roof color.

Electrical:

- 1) It shall be the sole responsibility of the electrical contractor to design and engineer the electrical system, service, metering, panel boards and circuiting.
- 2) It shall be the sole responsibility on the electrical contractor to provide and submit engineered plans and specifications to the owner/builder and the bldg. Dept. For approval.
- 3) Hardwired (with battery back-up) smoke detectors shall be installed on all floors, verify number or smoke detectors and location with owner/builder and code requirements. (Note: verify should fire alarm system be included with security system)
- 4) Provide and install all systems, equipment, fixtures as required by owner/builder and in strict compliance with all codes, ordinances and governing bodies.
- 5) Provide additional circuits at panel box for outdoor lighting, transformers, pool and fountain equipment and other as required or requested by codes, covenants or owner.

Plumbing

- 1) It shall be the sole responsibility of the plumbing contractor to design and engineer the plumbing system, supply waste, ventilation, and gas.
- 2) It shall be the sole responsibility of the plumbing contractor to provide and submit engineered plans and specifications to the owner/builder and the Building Department for approval.
- 3) Provide gas service as required to all equipment (i.e. Furnaces, water heaters, cook-top, and gas starters or gas logs at fireplaces). Coordinate any additional gas service requirements with owner.
- 4) Prefabricated fireplace installation shall meet or exceed all applicable codes regarding use of fire separation clearances, etc. It is the contractor's responsibility to ensure that all items and construction meet or exceed code.
- 5) Refer to note 5 under "Mechanical"
- 6) Provide and install all systems, equipment and fixtures as required by owner/builder and in strict compliance with all codes, ordinances, covenants, governing bodies, etc.



1 First Floor
1/4" = 1'-0"

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Private Residence

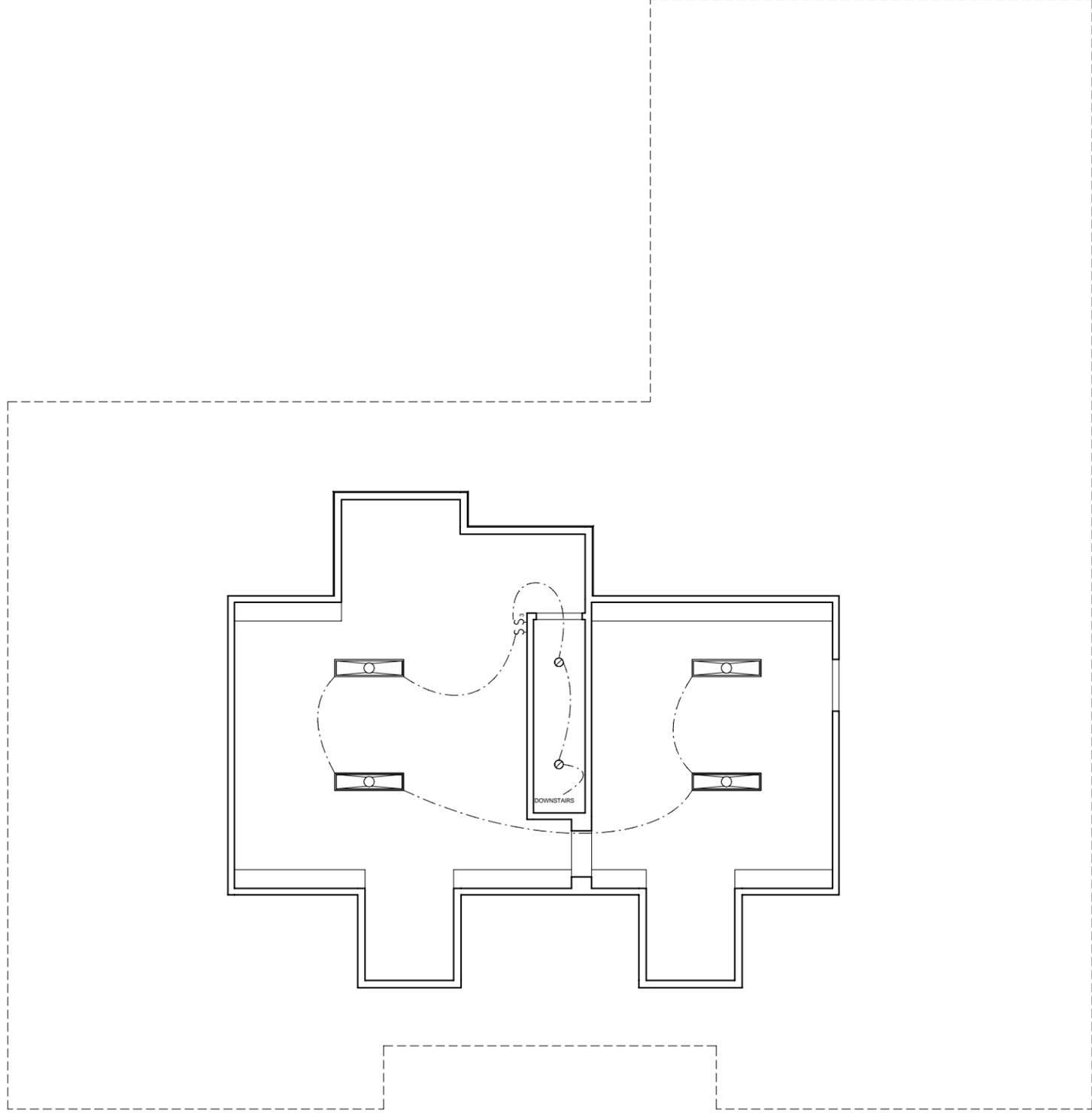
REVISIONS:	NO	DESCRIPTION	DATE

SHEET TITLE:
First Floor Electrical

DATE:
5/10/2011

SHEET NO:
A8

① Second Floor
1/4" = 1'-0"



NOT FOR CONSTRUCTION

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SHEET NO:

A9

SHEET TITLE:

Second Floor
Electrical

DATE:

5/10/2011

REVISIONS:

NO	DESCRIPTION	DATE

JOB NAME AND ADDRESS:

Private Residence